

Ward: Radcliffe - North and Ainsworth

Item 02

Applicant: Wesley Methodist Primary School

Location: Wesley Methodist Primary School, Forth Road, Radcliffe, Manchester, M26 4PX

Proposal: Erection of 2.4m high fencing and 2no. Access gates

Application Ref: 68595/Full

Target Date: 03/10/2022

Recommendation: Approve with Conditions

Description

The application relates to Wesley Methodist Primary School located on the east side of Forth Road and to the south of Salisbury Road. The area is residential in character with the site surrounded by housing. There is an existing green palisade around the entrance on Forth St along the northern boundary with Salisbury Road with a short section running along the side of No.15 Salisbury Road. There are lower metal railings, about 1.5m high, around the school playing field. It is noted that there are a couple of points where there are no railings, leaving the school with no boundary with adjacent rear gardens.

The application proposes to replace long sections of existing fence around the school grounds. The new fence and gates would be powder coated green paladin weld mesh fence 2.4m high. The longest section (180m) would run adjacent to the existing fence along the western boundary, to the rear of properties along Eastfields. The new fence would be set in from the existing fence by 1.8m. A gate in the fence would allow the planting along the boundary and the narrow strip of grass to be maintained in a tidy state.

A section of new paladin fencing would run adjacent (set in 300mm) to the existing iron railings along the southern boundary, to the rear of properties along Turks Road. It is noted that a small section of this boundary does not have railings and is open to the adjoining rear gardens.

Relevant Planning History

58882 - Creation of all weather synthetic sports pitch (resubmission) - Approved 02/09/2015
60229 - Single storey extension within courtyard to form PE store and alterations to existing storeroom to form classroom - Approve with Conditions 26/07/2016

Publicity

Immediate neighbours notified by letter dated 11/08/2022. Representations have been received and concerns are summarised below:

- Along the boundary with 15 Salisbury Road, there should be a 1.8 metre gap between the existing fence and the new one as per Eastfields.
- Currently the perimeter of the school is full of overgrown weeds, grass & trees. A complete shambles. The area between the fences needs to be better maintained.
- The school is taking an easy way out of the situation. The existing fence is in a dangerous condition and really needs replacing.
- Need to upgrade your security / alarm.
- Plans aren't clear.
- No problem with the school replacing the existing old and rusting railings but object to a 2.4 metre fence being installed because it is simply too high and unsightly.

Respondents have been informed of the Planning Control committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objections.

Pre-start Conditions - N/A

Unitary Development Plan and Policies

SPD3 DC Policy Guidance Note 3: Planning Out Crime

EN1/2 Townscape and Built Design

EN1/5 Crime Prevention

CF2 Education Land and Buildings

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Need - The school has suffered break-ins and security issues and it is considered that the existing iron railings around the playing field are not adequate to maintain site security. The proposed new paladin fencing would improve security around the site and would comply with UDP Policy CF2 Education Land and Buildings, EN5/1 Crime Prevention and guidance in Supplementary Planning Document No.3 Planning Out Crime in New Development.

Visual Amenity - The proposed paladin fence is one which is commonplace around schools now and, powder coated green, would not appear out of keeping with the school's setting. It would be 'permitted development' for the school to erect a 2m fence around the boundary and given its design and position to the rear of surrounding gardens, the additional 400mm would not be considered so excessive to warrant refusal.

Residential Amenity - For the most part, the new fence would be situated at the rear of surrounding gardens and would not be so prominent as to cause serious detriment to residential amenity. There is a slight concern where the fence runs along the shared side boundary with No.15 Salisbury Road, adjacent to a small patio area. It was requested that the applicant consider reducing the fence height along this particular section to 2m but it was considered that the fence should remain at the proposed 2.4m. Again, whilst the fence is higher than existing railings, it is not considered that the new fence would be so dominant as to cause serious issues to warrant refusal.

It is noted that representations have raised the issue of maintenance of planting around the existing boundary and the need to keep the grass cut within the gap between the existing and new fence. The school has confirmed that the existing planting along the boundary and grassed area between the existing and new fences would be cut on a regular basis to avoid overgrowth along the boundary. Two gates would be installed in the fence to allow maintenance to be carried out.

The proposed fencing is, on balance, acceptable and complies with UDP Policies CF2 Education Land and Buildings, EN5/1 Crime Prevention and guidance in Supplementary Planning Document No.3 Planning Out Crime in New Development.

Public Representations - The issues raised by those making representations have been addressed in the above report. The school has confirmed that they would be carrying out regular maintenance and grass cutting.

Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

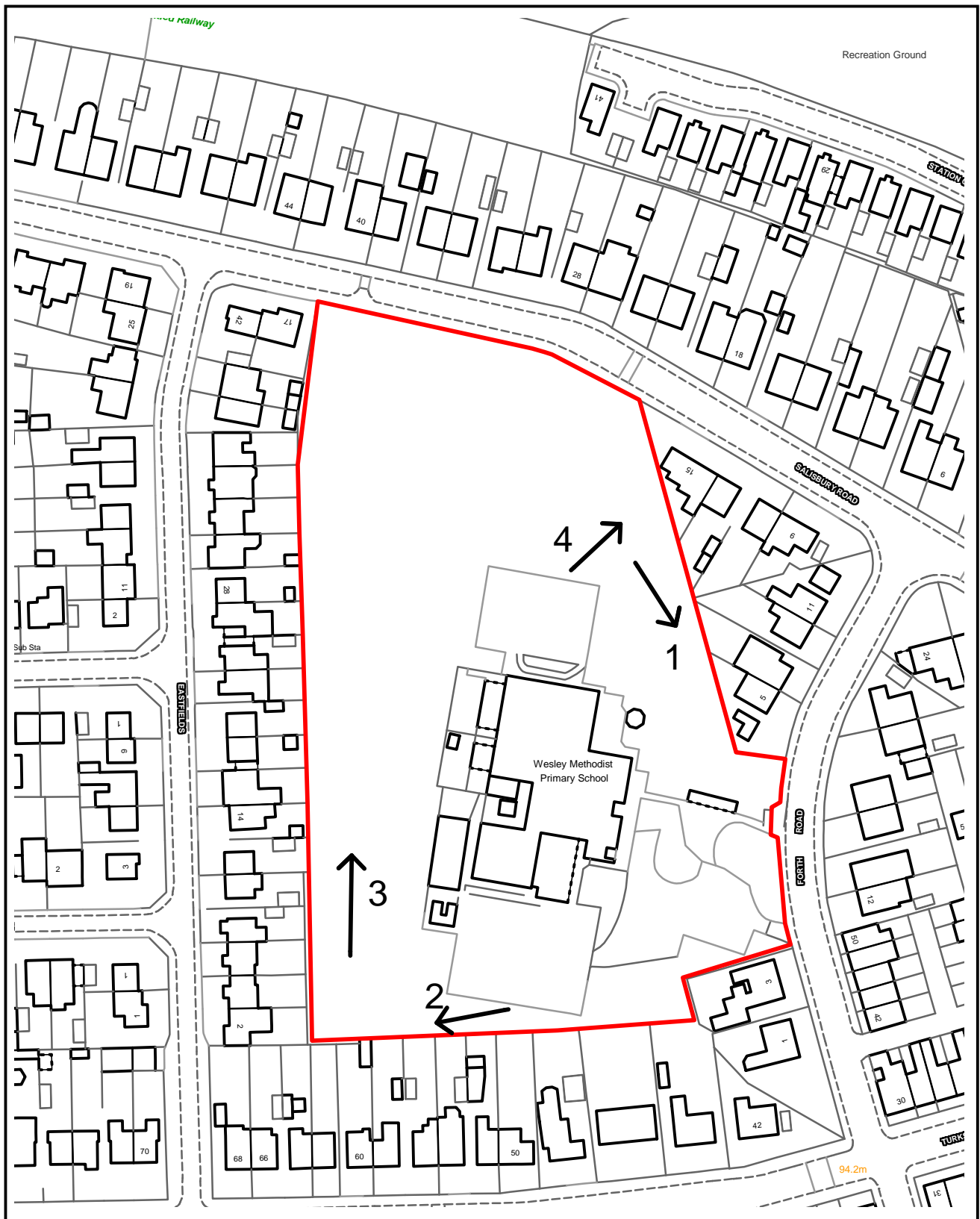
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered S9-10409-P-01, P-02/B, P03 and P04 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 68595

**ADDRESS: Wesley Methodist Primary School,
Forth Road, Radcliffe,**

Planning, Environmental and Regulatory Services

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Bury
COUNCIL

68595

Photo 1



Photo 2



68595

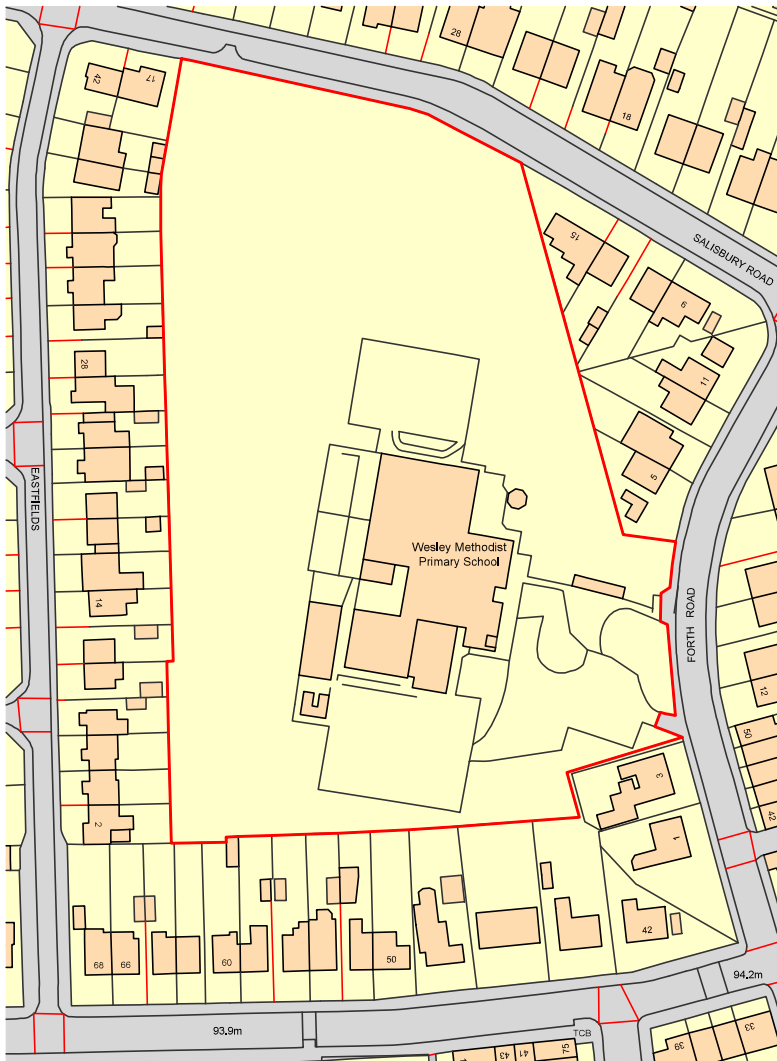
Photo 3



Photo 4



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Aspects of this proposal may fall within the remit of the Party Wall Etc. Act 1996. If applicable any affected Adjoining Owners must be notified by way of a Notice. An agreement should be obtained from the Adjoining Owner in respect of the planned works if they fall within the scope of the Act. If applicable you may be required to appoint a Party Wall Surveyor.

No works should commence until plans have been approved by and/or submitted to the Building Control officer. Should any works commence prior to this approval being issued then this is done entirely at the client/contractor's own risk and expense.

The Client must be aware of their duties under the Construction (Design & Management) Regulations 2015 to appoint a Principal Designer and Principal Contractor. In the case of domestic projects the Principal Contractor is to undertake these duties on behalf of the client.

A	Planning Issue	13-06-22
Rev	Description	Date
Client		
Wesley Methodist Primary School		
Forth Road, Raddcliffe, M26 4PX		
Project		
Fencing Replacement Works		
Wesley Methodist Primary School		
Drawing		
Location Plan		
Wesley Methodist Primary School		
Scale	Drawn	Checked
1:1250@A3	LE	JV
Project No.	Date	
S9/10409	10/06/2022	
Drawing Identifier		
S9-10409-P-01		

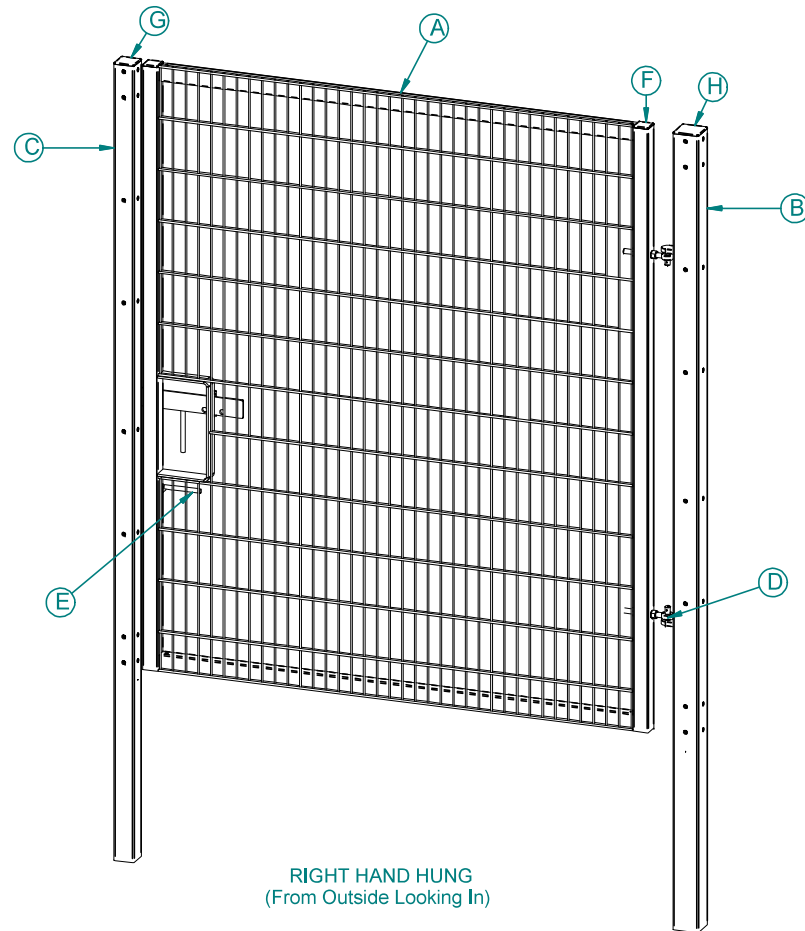
Wesley Methodist PS - Location Plan

Scale 1:1250 @ A3



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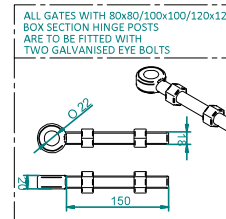
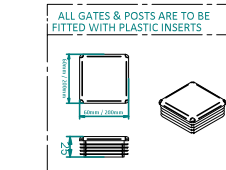
2.4m X 2.0m WIDE SINGLE LEAF DIG IN 868 MESH GATE



FILE NAME: 2.4m X 2.0m WIDE SINGLE LEAF 868 MESH GATE KIT

Proposed Gate Elevation

NTS



Item	Component Name
A	868 MESH GATE SLIDER 2.4m X 2.0m WIDE
B	2.4m HIGH DIG IN MESH HINGE GATE POST 100X100 BOX SECTION
C	2.4m HIGH DIG IN MESH CATCH GATE POST 80X80 BOX SECTION
D	ADJUSTABLE GATE EYE BZP 130-150mm
E	UNIVERSAL GATE DROP BOLT
F	60x60 BLACK RIBBED INSERTS
G	80x80 BLACK RIBBED INSERTS
H	100X100 BLACK RIBBED INSERTS

2.4m x 2.0m 868 Mesh Gate Specification

Strong and aesthetically pleasing, Dulox 656 and 868 standard gates are available in a range of heights and widths. The hinges on the gates are inverted to prevent lift off. Mesh is welded onto all gate frames. Gates come with a lockable slide latch.

This 2.4m x 2.0m Single Leaf Twin Mesh Gate can be used to create a point of entry for small vehicles within a Twin Mesh fencing system of the same height. It consists of a 2.0m wide single gate leaf, which can allow small sized vehicles such as forklifts to pass in and out. The gate's 2.4m height makes it more suitable for areas requiring a high level of security. It's strong, sturdy and safe construction makes it an ideal choice for a range of public areas, including sports grounds.

Mesh panel wire manufactured to BS 4102 and galvanised to BS EN 10244-2:2001 class D

Weld strength is 75% of the minimum tensile strength of the wire (tensile range 540-690 N/m²)

Post material manufactured to BS EN 10210-2:1997 and galvanised to BS EN 10346:2009

Panels and posts are powder coated to BS EN 13438:2005 (minimum 100 micron)

All welding carried out in accordance with BS EN 1011-1 and BS EN 1011-2 by qualified welders (BS EN 287-1)

Each slide latch opening will be covered by a sloped shroud to prevent use as a foothold.

GATE DIMENSIONS

Height: 2430mm

Access width: 2000mm

Gate Post Box Section: 100 x 100mm Hinge Post, 80 x 80mm

Catch Post

Total Gate Width: 2280mm

A	Planning Application	13-06-22
Rev	Description	Date

Client
Wesley Methodist Primary School
Forth Road, Raddcliffe, M26 4PX

Project
Fencing Replacement Works
Wesley Methodist Primary School

Drawing
2.4m Gate Elevation

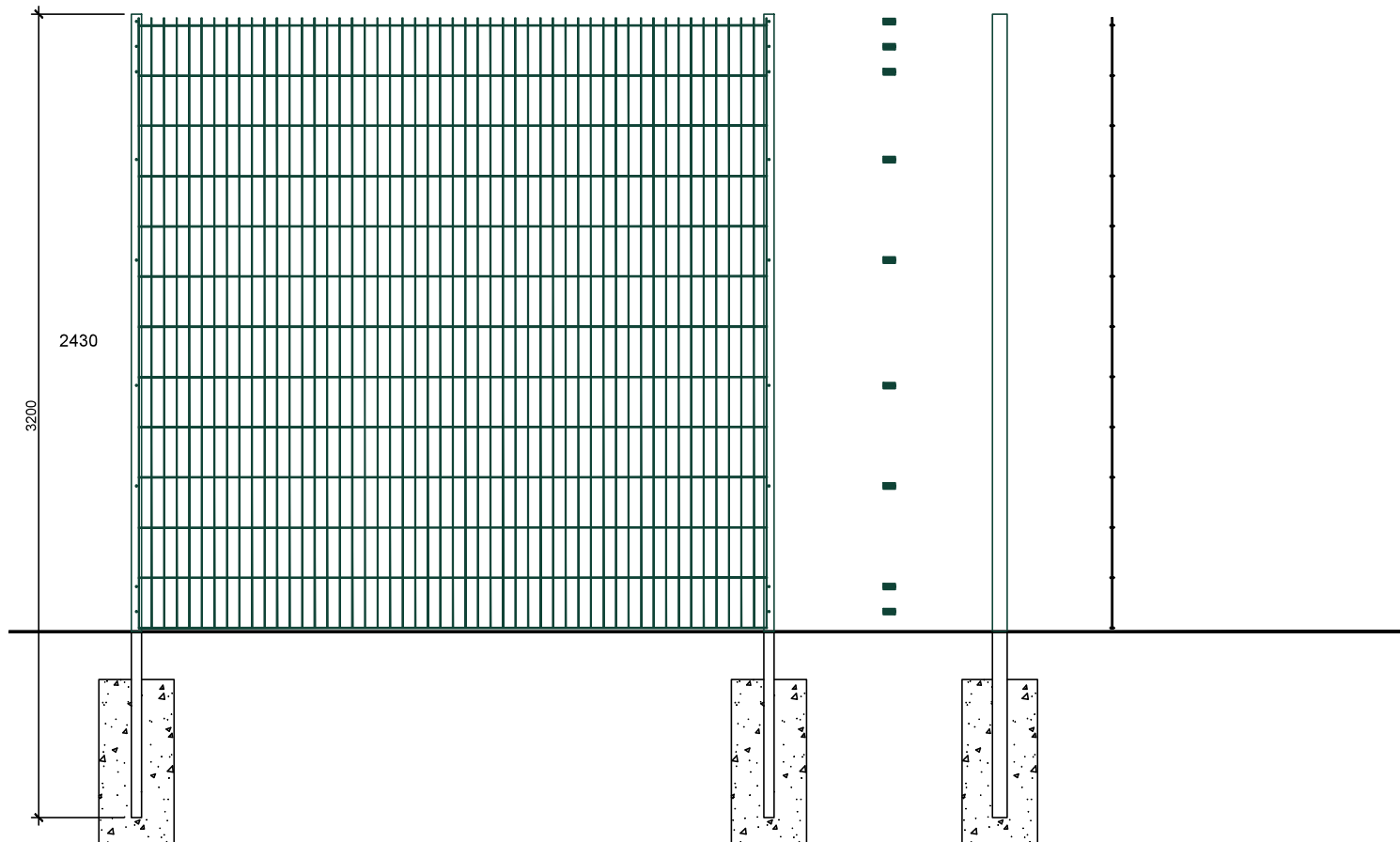
Scale	Drawn	Checked	Approved
NTS	LE	JV	JV

Project No.	Date
S9/10409	05/08/2022

Drawing Identifier
S9 10409-P-04



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Proposed Fencing Elevation

1:20 @ A3

Dulok Lite 656 Mesh Fencing Specification

Multi-use fencing system, Dulok-Lite™ double wire panel system is suitable anywhere you need anti-cut-through protection.

Dulok-Lite™ is manufactured from twin 6mm diameter horizontal wires either side of 5mm diameter vertical wires, providing an excellent defence against vandals and intruders.

Panels are fixed to steel posts using metal clips with tamper-proof angled returns, which are secured in place with pin hex screws for added security.

The system also conforms to BS 1722-14 for open mesh steel panel fences.

PANEL DIMENSIONS

Height: 2430mm

Panel width: 2506mm

Mesh size: 200 x 50mm

Wire diameter: 5mm Verticals and twin: 6mm horizontals

Top edge projection: 30mm

POST DIMENSIONS

Posts: 60 x 40mm to 80 x 40mm

RHS: Dependant on height

Clips: 47 x 25mm steel

Post centres: 2520mm

FINISH

Galvanised and polyester powder-coated, after stringent cleaning and treatment, to give a well adhered coating of a minimum of 60 microns, RAL 6005.

A	Planning Application	13-06-22
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Rev	Description	Date
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Client

Wesley Methodist Primary School
Forth Road, Raddiffe, M26 4PX

Project

Fencing Replacement Works
Wesley Methodist Primary School

Drawing

Fencing Elevation
2.4m Dulok Mesh Fencing

Scale	Drawn	Checked	Approved
1:20@A3	LE	JV	JV

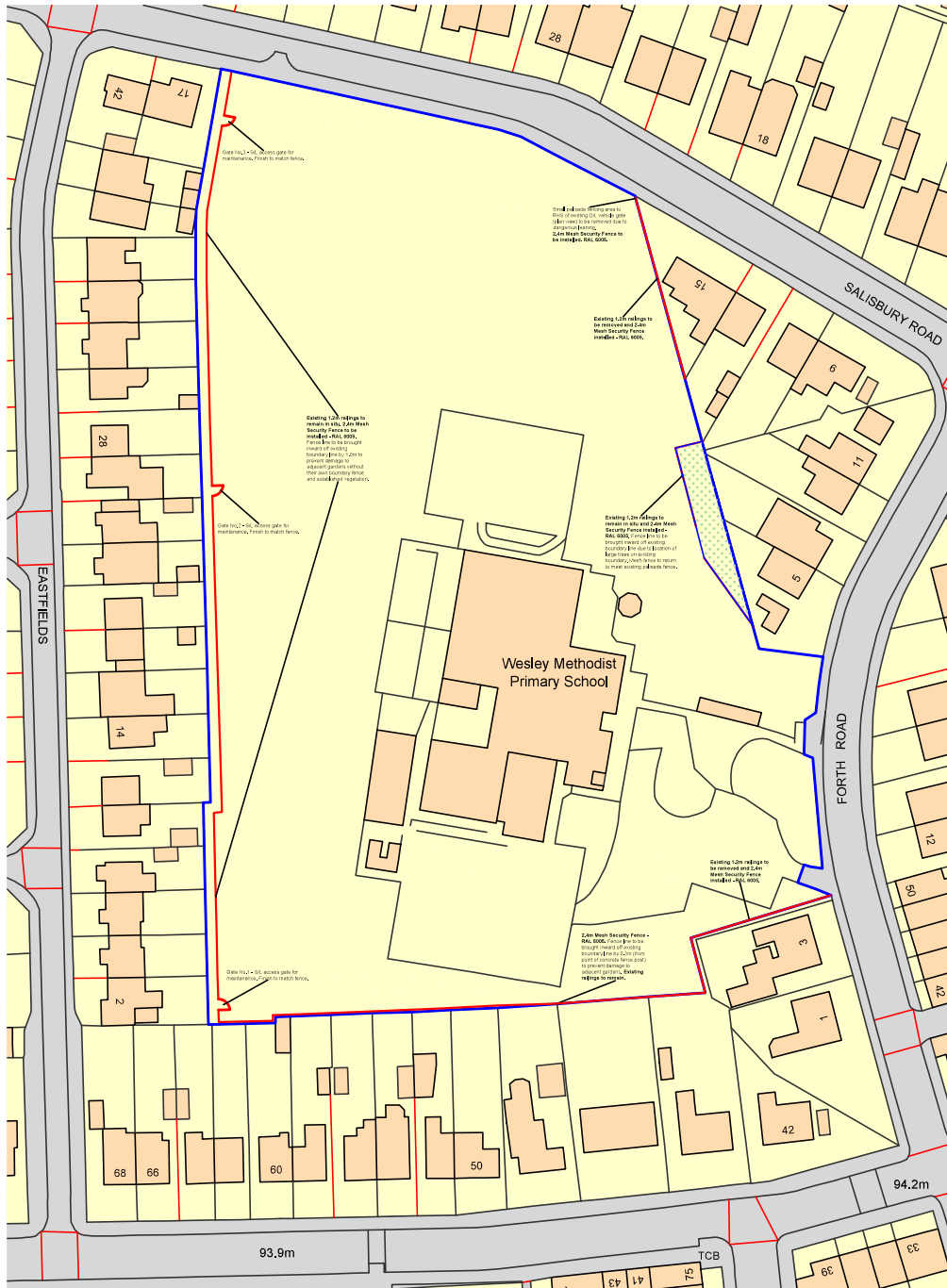
Project No.	Date
S9/10409	10/06/2022

Drawing Identifier
S9 10409-P-03



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Wesley Methodist PS - Site Plan


Scale 1:1000 @ A3

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- Boundary Line
- Proposed Fence Line

B	Planning - Gate / Palisade Addition	03-10-22
A	Planning Issue	13-06-22
Rev	Description	Date
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Wesley Methodist Primary School Forth Road, Radcliffe, M26 4PX		
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Project No.	Date	Approved
S9/10409	10/06/2022	JV
Drawing Identifier		
S9-10409-P-02-B		
		
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